

Our Reference: 209139

22 October 2020

**The Manager  
Stiletto Homes  
PO Box 270  
WARILLA NSW 2528**

**Attention: Mr Jim Ristevski**

Dear Jim,

**Re: Seniors Living Development – No. 14 Hamilton Road, Albion Park**

Further to your instructions we have reviewed the plans for the proposed seniors living development at the above site prepared by LandTeam and referenced 209139 DA01 to 209139\_DA021 issue K, which indicates existing ground surface levels to the Australian Height Datum (AHD) in conjunction with Shellharbour City Council's (SCC) Flood Enquiry Certificate No.ENG0115/2020 dated 14 October 2020 (FEC), the Macquarie Rivulet Flood Study (MRFS) dated February 2017, appendix 9 Floodplain Risk Management of the Shellharbour Development Control Plan (DCP) and the NSW State Emergency Services (SES) "Shellharbour Local Flood Plan" (SLFP).

The site is located at No. 14 Hamilton Road, Albion Park and on the eastern side of Hamilton Road, immediately to the north of its intersection with Tripoli Way.

It is proposed to subdivide the site into thirty nine (39) community title residential lots with one (1) additional lot, comprising the road and community open space.

The FEC advises that flood inundation levels at the site during the 1% AEP event range from 10.04m AHD at the eastern site boundary to 10.72m AHD at the western site boundary. During the PMF even flood inundation levels range from 10.50m AHD at the eastern site boundary to 11.31m AHD at the western site boundary.

Proposed lots 29 to 39 are the northern most lots in the proposal and are located closest to the Macquarie Rivulet.

Existing ground levels at the northern ends of proposed lots 29 to 39 range from about 11.3m AHD at the common boundary of proposed lots 29 and 30 to about 11.0m AHD at the common boundary of proposed lots 33 and 34 to 11.4m AHD at the western boundary of proposed lot 39. These existing ground levels are between 0.5m and 1.3m above the 1% AEP level and up to 0.8m above the PMF level.

Habitable floor levels of the proposed residences at proposed lots 29 to 39 range from 11.495m AHD at Proposed lot 29 to 12.405m AHD at proposed lot 39. These levels are between 1.45m and 1.65m above the 1% AEP flood level and between 1.0m and 1.1m above the PMF level.

Having regard to the foregoing we find that the proposed residences on the site are not affected by flooding during the 1% AEP or PMF events.

However, road access to the site is restricted, during the 1% AEP event, with inundation depths of up to 0.5 metres in roads leading to the Albion Park Town centre. During the PMF event these inundation depths are in excess of 0.5 metres. Access beyond the Albion Park Town Centre to other areas is not viable during the 1% AEP and PMF events.

The MRFS has classified the site for the 1% AEP and PMF events in accordance with the Technical Flood Risk Management Guideline: Flood Emergency Response Planning Classification of Communities. The site has been classified as having rising road access during the 1% AEP event and as being a high island during the PMF event. That is, during the 1% AEP event, road access is available out of the site, but only to the Albion Park Town Centre and nearby schools. During the PMF event the site is not inundated but vehicular or pedestrian access out of the site is not available.

Having regard to the foregoing we find that during the PMF event evacuation from the site will not be available but evacuation within the site will be available. We note that typically, flooding in the Illawarra is of a short duration of the order of less than about twenty four (24) hours and it is expected that access from the site would typically be available after subsidence of flood waters.

Evacuation is available within each of the residences above the PMF level.

We have reviewed the 'Shellharbour Local Flood Plan' proposed by the SES, in particular, clause 2.5 which relates to Albion Park.

Overall management of flood rescue operations is under the control of the NSW SES Incident Controller. During times of flood Occupants should monitor emergency radio broadcasts and following the directions of NSW SES Incident Controller.

**During Times of Heavy Rainfall:-**

*During times of heavy rainfall or predicted heavy rainfall occupants should have a flood evacuation strategy in place which would include the following:*

- *Be aware of emergency radio broadcasts and other flood warning systems.*
- *Comply with the directions of emergency personnel, such as Police and State Emergency Services personnel.*
- *Be ready to evacuate if directed by emergency personnel.*
- *Ensure that mobile phone with charged batteries is accessible*
- *Ensure that sufficient stocks of food, fresh water, medication, battery powered radio, battery powered lighting and other essential items and documents are stored in the residence which is above the PMF level (all of the proposed lots are above the PMF level).*

*The site is at a level which is above the inundation level of the PMF, however if required to evacuate, follow the directions of emergency personnel:*

- *During the 1% AEP and PMF events private vehicular access to nearby hospitals is not available. If medical assistance is required then dial 000.*
- *Information of local flooding is available on the NSW SES Facebook page, twitter and on the NSW SES website – [www.ses.nsw.gov.au](http://www.ses.nsw.gov.au).*
- *While evacuation is available to the houses within the site; the residents may consider the formation of a committee to coordinate support and assistance for people and pets within the subdivision during the times of flooding.*

Yours Faithfully

**LandTeam**



**Peter Lockhart**

B.E., M.I.E. (Aust), N.P.E.R-3

PL:KT

## **Appendix A**

**Shellharbour City Council's  
Flood Certificate No.ENG0115/2020  
Dated 14 October 2020**

14 October 2020

Stiletto Homes Pty Ltd  
PO Box 270  
WARILLA NSW 2528

<b>Details</b>	Flooding Enquiry Certificate
<b>Property Address:</b>	14 Hamilton Road ALBION PARK NSW 2527
<b>Legal Description:</b>	Lot 1 DP 1069961
<b>Our Reference:</b>	ENG0115/2020

Council manages flood prone land in accordance with the NSW Governments Flood Prone Land Policy. The procedures for the management of flood prone land are detailed in the NSW Governments Floodplain Development Manual 2005. The manual identifies a 4-step process for floodplain managers to follow:

1. Flood Study – Determines the nature and extent of the flooding.
2. Floodplain Risk Management Study – Evaluates the management options available for both existing and future development within the floodplain.
3. Floodplain Risk Management Plan – The adoption of a plan of management for the floodplain by Council.
4. Implementation of the Plan – Construction of flood mitigation works to protect existing development, planning controls to ensure new development is compatible with the flood hazard.

The most recent flooding information from the adopted Macquarie Rivulet Flood Study (2017) identifies the design 1% Annual Exceedance Probability (AEP) and Probable Maximum Flood (PMF) levels and velocities that are relevant to the subject property as shown in the Figures 1 to 4.

*Note: The flood information in the **Figures 1 to 4** applies as of the date of this letter.*



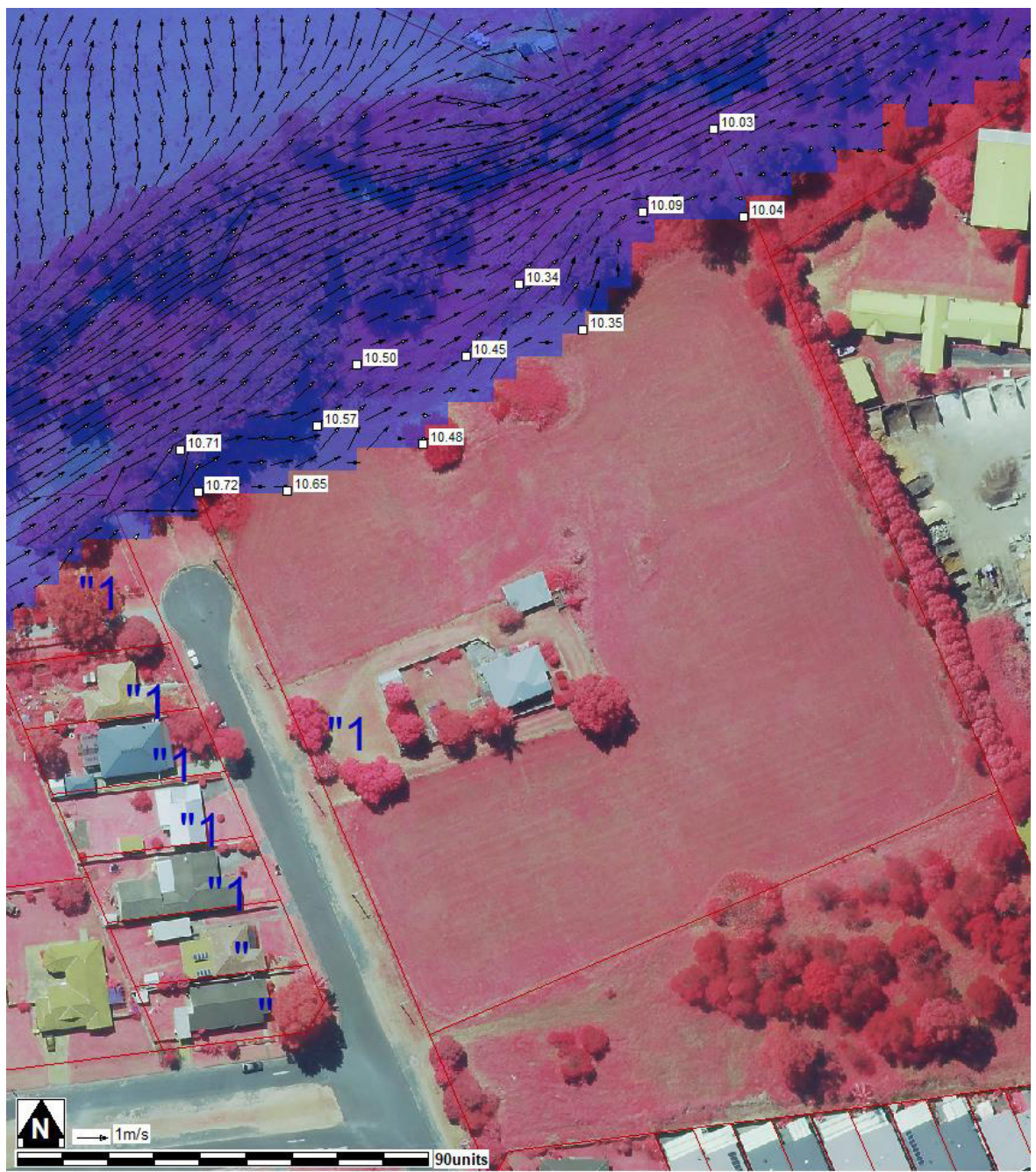


Figure 1: 1% AEP Level (m AHD)



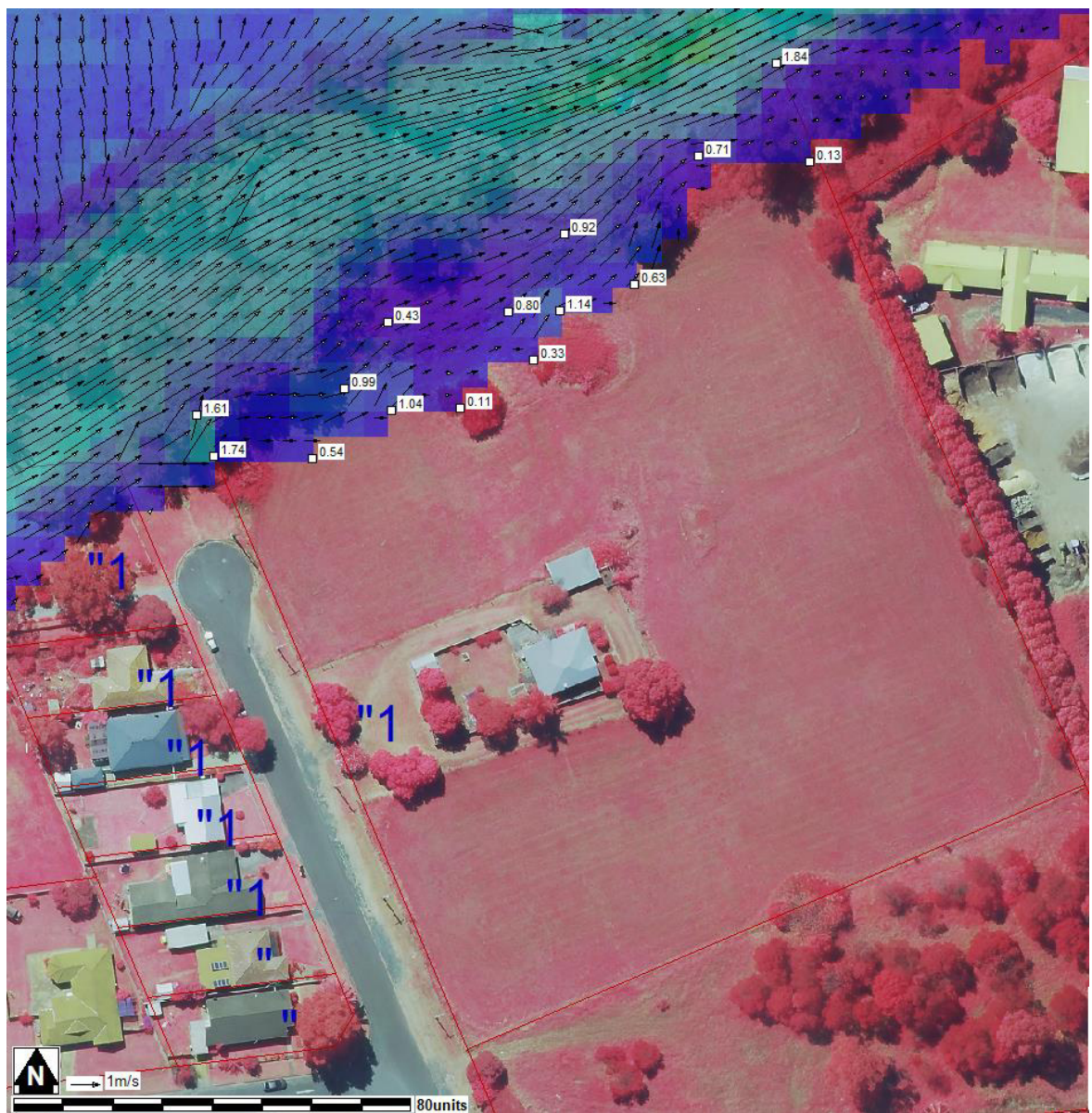


Figure 2: 1% AEP Velocity (m/s)



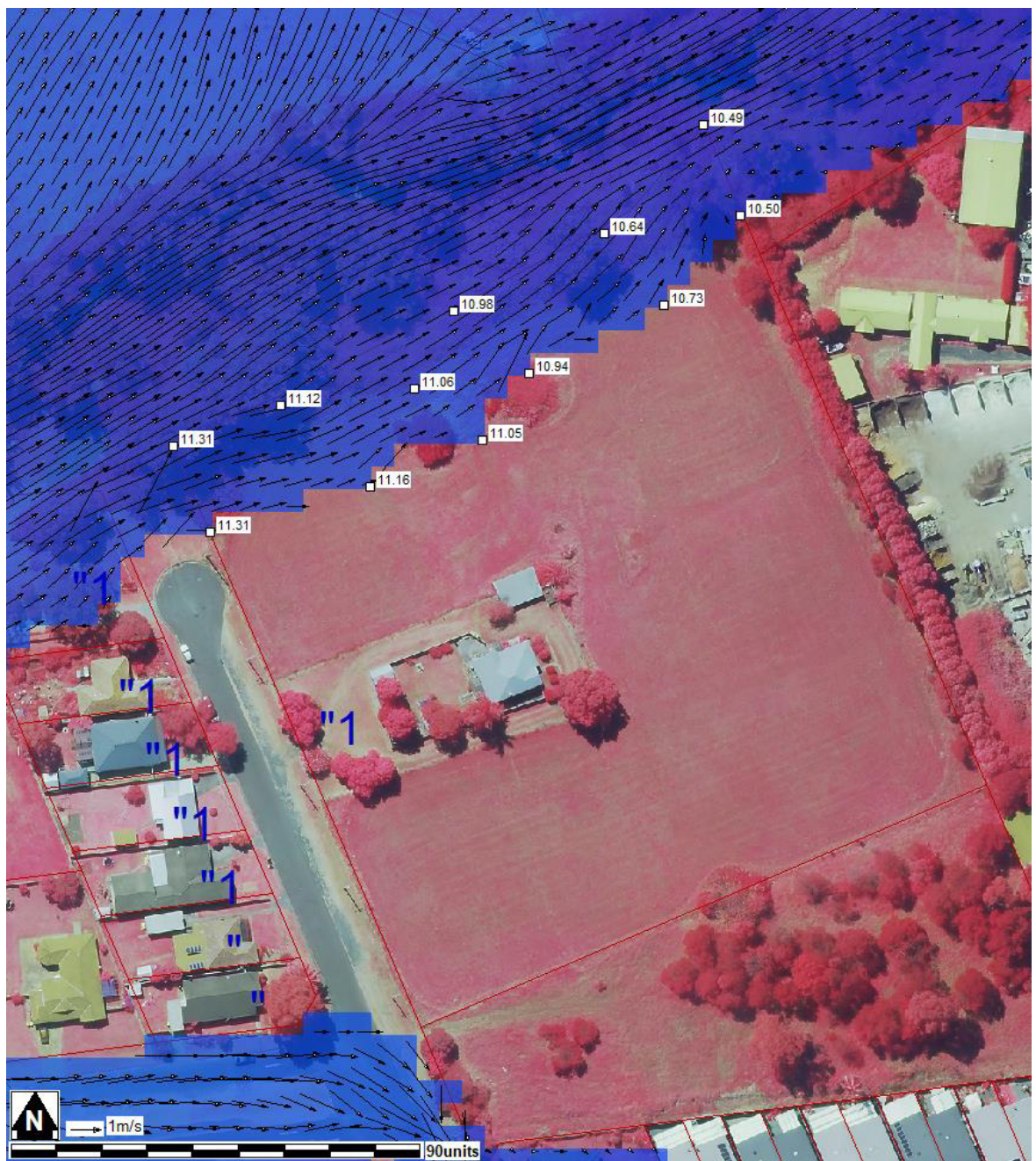


Figure 3: PMF Level (m AHD)



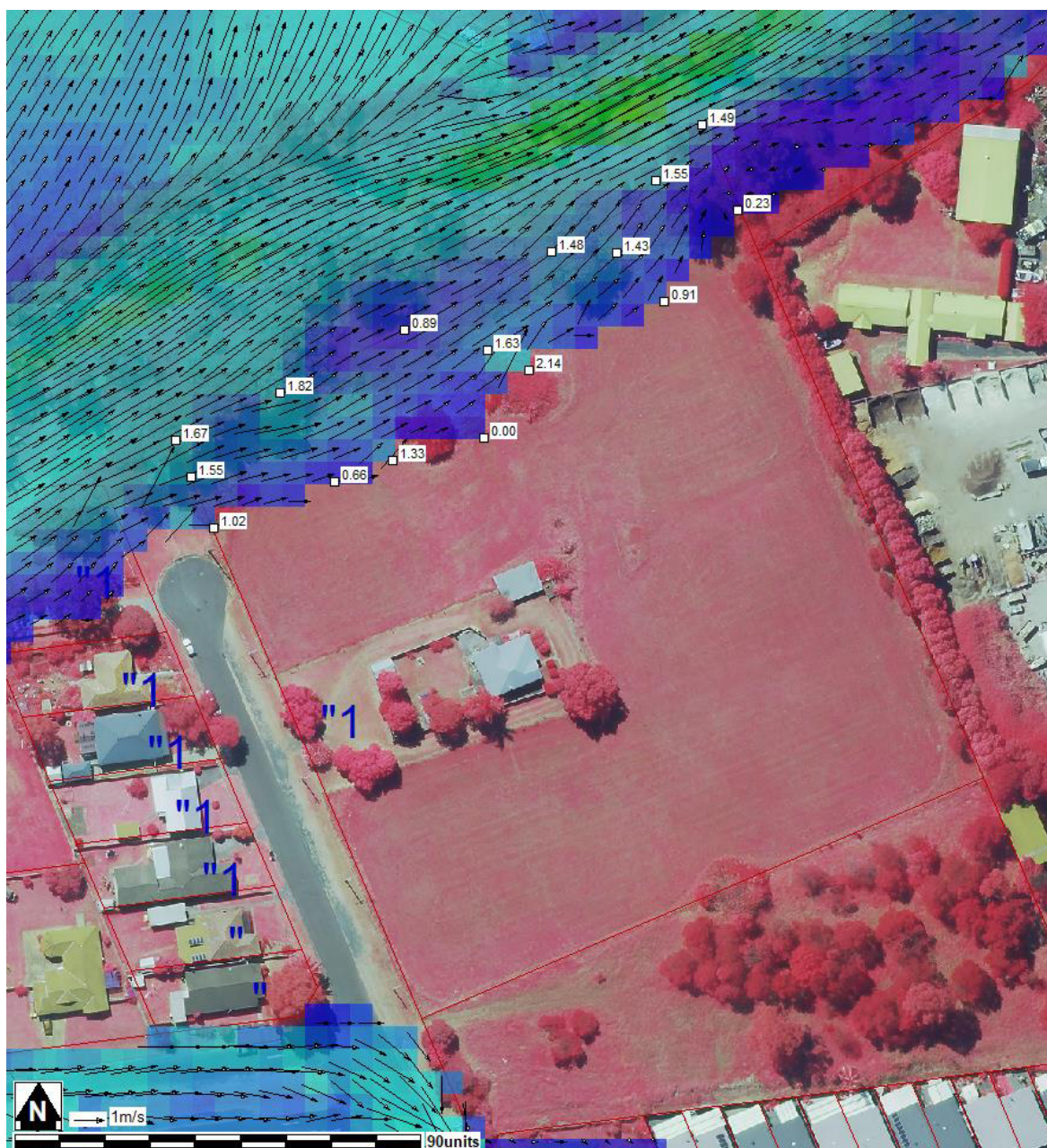


Figure 4: PMF Velocity (m/s)

The Macquarie Rivulet Flood Study (2017) also identifies potential climate change scenarios for the 1% Annual Exceedance Probability (AEP) event that are relevant to the subject property as follows:

<b>Flood Information for 14 Hamilton Road ALBION PARK</b>	<b>10% increase in rainfall intensity</b>	<b>20% increase in rainfall intensity</b>	<b>30% increase in rainfall intensity</b>	<b>0.4m Sea Level Rise</b>	<b>0.9m Sea Level Rise</b>
Water Level (m AHD)	10.8	10.9	10.9	10.7	10.7
Velocity (m/s)	2.0	2.0	2.0	1.9	1.9

Council is in the process of developing a Climate Change Adaption Plan which will include provisions for the management of land affected by potential impacts of Climate Change. In the future, Council may adopt Scenarios for Increase in Sea Level Rise and Rainfall Intensity for the purposes of development assessment, such as the scenarios identified above. You are advised to contact Council prior to lodging your development application to confirm what flood information applies to your proposal.

Council has adopted The Shellharbour Development Control Plan 2013 (DCP). Chapter 24 of the DCP relates to Floodplain Risk Management and outlines development controls specific to individual sites based on the flood risk associated with specific development types and their location within the floodplain.

These are known as High, Medium and Low Flood Risk Precincts and are defined as:

**High Flood Risk Precinct:** This has been defined as the area within the envelope of land subject to a high hydraulic hazard or defined as floodway (in accordance with the provisional criteria outlined in the Floodplain Development Manual) in a 1% AEP flood event. The high flood risk precinct is where high flood damages, potential risk to life and evacuation problems would be anticipated or development would significantly and adversely effect flood behaviour. Only in exceptional circumstances will development be permitted in this precinct. In this precinct, there would be a significant risk of flood damages without compliance with flood related building and planning controls.

**Medium Flood Risk Precinct:** This has been defined as land below the 1% AEP flood level (plus 0.5m freeboard) that is not within the High Flood Risk Precinct. It is land subject to low hydraulic hazard (in accordance with the provisional criteria outlined by the Floodplain Management Manual). In this precinct there would still be a significant risk of flood damage, but these damages can be minimised by the application of appropriate development controls.

**Low Flood Risk Precinct:** This has been defined as all other land within the floodplain (ie. within the extent of the probable maximum flood) but not identified within either the High Flood Risk or the Medium Flood Risk Precinct where risk of damages are low for most land uses. The Low Flood Risk Precinct is that area above the 1% AEP flood level (plus 0.5m freeboard) to the Probable Maximum Flood level. Most land uses would be permitted within this precinct.

To confirm which Flood Risk Precinct your property is within, it is recommended that the services of a suitably qualified engineer and/or surveyor be engaged. A detailed survey of your property may be required and it is possible for your property to be located within more than one flood risk precinct. Further information can be found within the adopted Flood Study and/or Floodplain Risk Management Study and Plan.

The Shellharbour DCP can be downloaded from Council's website here - [www.shellharbour.nsw.gov.au](http://www.shellharbour.nsw.gov.au). Further enquiries relating to development constraints should be directed to Council's Development Assessment Officers on 4221 6111.

I trust this information is of assistance.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Kayastha', with a horizontal line underneath.

Prabin Kayastha  
**Senior Civil Engineer**



## **Appendix B**

### **Development Plans**

**Nos. 209139-DA01 to 209139-DA21 (Issue K)**

# PROPOSED SELF CONTAINED DWELLING SENIORS LIVING DEVELOPMENT

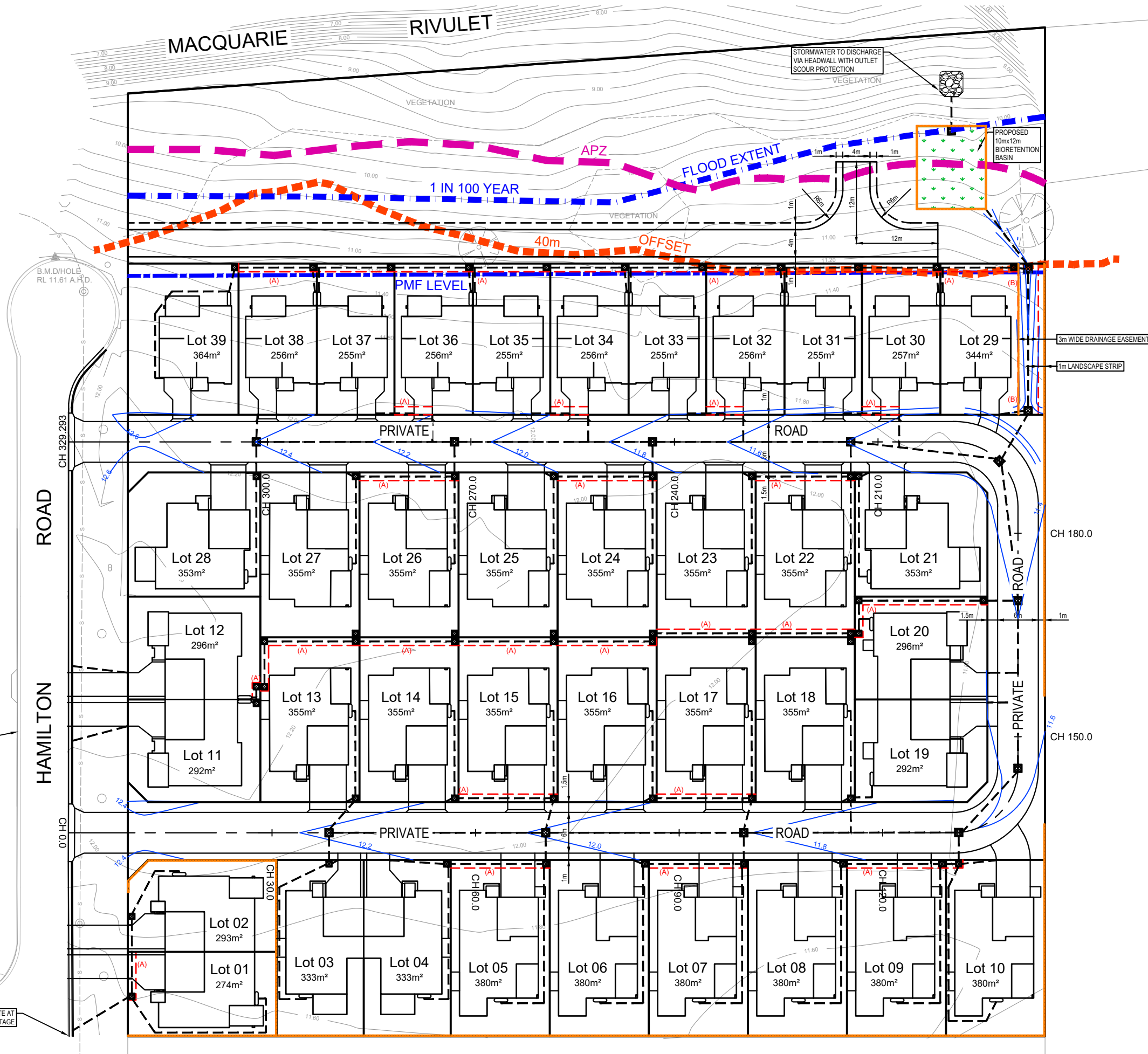
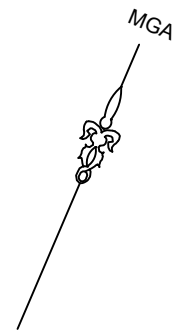
LOT 1 DP 1069961  
14 HAMILTON ROAD, ALBION PARK

SCHEDULE OF DA DRAWINGS  
209139  
ISSUE K

DA00. COVER SHEET & DRAWING LIST  
DA01. OVERALL DEVELOPMENT LAYOUT PLAN  
DA02. PRIVATE ROAD LONG SECTION & TYPICAL SECTION  
DA03. PRIVATE ROAD CROSS SECTIONS  
DA04. SOIL & WATER MANAGEMENT PLAN  
DA05. CONCEPT DRAINAGE DESIGN LOTS 1 - 2  
DA06. CONCEPT DRAINAGE DESIGN LOTS 3 - 5  
DA07. CONCEPT DRAINAGE DESIGN LOTS 6 - 8  
DA08. CONCEPT DRAINAGE DESIGN LOTS 9 - 10  
DA09. CONCEPT DRAINAGE DESIGN LOTS 11 - 12  
DA10. CONCEPT DRAINAGE DESIGN LOTS 13 - 15  
DA11. CONCEPT DRAINAGE DESIGN LOTS 16 - 18  
DA12. CONCEPT DRAINAGE DESIGN LOTS 19 - 20  
DA13. CONCEPT DRAINAGE DESIGN LOTS 21  
DA14. CONCEPT DRAINAGE DESIGN LOTS 22 - 24  
DA15. CONCEPT DRAINAGE DESIGN LOTS 25 - 27  
DA16. CONCEPT DRAINAGE DESIGN LOTS 28  
DA17. CONCEPT DRAINAGE DESIGN LOTS 29 - 30  
DA18. CONCEPT DRAINAGE DESIGN LOTS 31 - 34  
DA19. CONCEPT DRAINAGE DESIGN LOTS 35 - 38  
DA20. CONCEPT DRAINAGE DESIGN LOTS 39  
DA21. CONCEPT DRAINAGE DESIGN STORMWATER DISPOSAL PLAN

Prepared for:  
14 HAMILTON ROAD Pty Ltd





(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE  
(B) EASEMENT FOR DRAINAGE OF WATER 3.0 WIDE

**WATER QUALITY NOTES**  
ALL LOTS TO HAVE A 3kL RAINWATER TANK.  
BIO-RETENTION BASIN TO BE:  
- 70m² BIO-RETENTION BASIN AREA  
- 0.3m EXTENDED DETENTION DEPTH  
- 0.3m FILTER DEPTH  
- 0.1m UNDER DRAIN  
- 0.1m SATURATED ZONE

**LEGEND**  
— PROPOSED BOUNDARY LINES  
— ADJOINING BOUNDARY LINES  
— 12.00 — EXISTING CONTOURS  
— 12.0 — PROPOSED CONTOURS  
— S — EXISTING SEWER PIPES  
- - - PROPOSED STORMWATER  
[Pink dashed line] APZ ZONE  
[Blue dashed line] PMF FLOOD LEVEL  
[Orange dashed line] PROPOSED RETAINING WALL  
[Green dashed line] PROPOSED BIO RETENTION BASIN

**GENERAL NOTES**  
THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SUBDIVISION PLANS FOR THE PROJECT.  
THE CONTRACTOR SHALL VERIFY THE VALUE OF THE B.M. PRIOR TO THE COMMENCEMENT OF WORK. SURVEY WORK DONE BY OTHERS.  
THE CONTRACTOR SHALL VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.  
THIS PLAN IS NOT TO BE USED FOR SETTING OUT PURPOSES. REFER TO SUBDIVISION DRAWINGS.  
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF SHELLHARBOUR CITY COUNCIL.  
ALL PITS IN TRAFFICKED AREAS OR EASEMENTS SHALL BE HEAVY DUTY (CLASS D).  
PIPE LOCATIONS ARE INDICATIVE ONLY.  
MAKE SMOOTH JUNCTION WITH ALL EXISTING WORK.  
ALL GRATED INLET PITS TO BE PROVIDED WITH HINGED AND LOCKABLE "WELDOLOK" GRATES (OR EQUIVALENT).  
ALL PITS WITH A DEPTH GREATER THAN 0.9m ARE TO BE PROVIDED WITH STEP IRONS TO SUIT COUNCIL STANDARDS.  
ALL DOWNPIPES TO BE A MINIMUM 900. UNLESS NOTED OTHERWISE ALL PIPES TO BE A MINIMUM 1000 AT 1% GRADE. PIPE LOCATIONS ARE INDICATIVE ONLY.

MAINTAIN THE CURRENT 8m ROAD CARRIAGEWAY, KERB AND GUTTER TO BE CONSTRUCTED ALONG FRONTAGE OF DEVELOPMENT AND 2.5% FALL TO THE KERB TO BE ESTABLISHED

KER AND GUTTER TO TERMINATE AT EXTENT OF SUBDIVISION FRONTAGE

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**DIAL1100**  
BEFORE YOU DIG  
ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO RESEARCH OF PUBLIC UTILITIES HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELEPHONE, POWER, GAS, SEWER OR WATER. ALWAYS CHECK BEFORE CARPENTRY, CUT ANY DESIGN OR CONSTRUCTION WORK YOU NEED TO DO, 1100 BEFORE YOU PROCEED.

**REGISTERED MANAGEMENT SYSTEM**  
ISO 9001  
ISO 14001  
ISO 45001  
JAS-ANZ  
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SCALE 1:300  
0 6 12 18 24 30 Metres  
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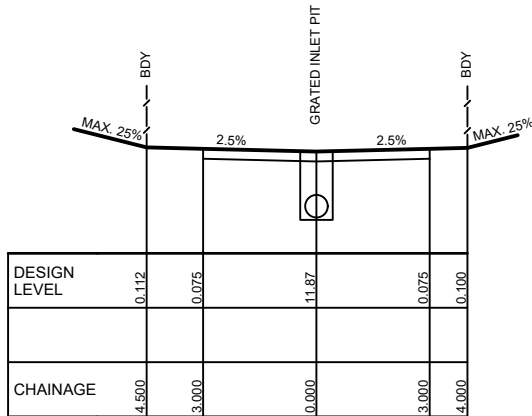
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F	ARCHITECTURAL UPDATES	AK	02.10.2020
G	HEADWALL LOCATION UPDATED	AK	07.10.2020
H	ARCHITECTURAL UPDATES, BIO BAS ALTERED	TJ	26.10.2020
I	DRAINAGE LAYOUT ALTERED	TJ	05.11.2020
J	LOTS 19 & 20 DRAINAGE LAYOUT ALTERED	DH	11.11.2020
K	REVISED TO SUIT LANDSCAPE PLAN	TJ	24.11.2020

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e: wollongong@landteam.com.au  
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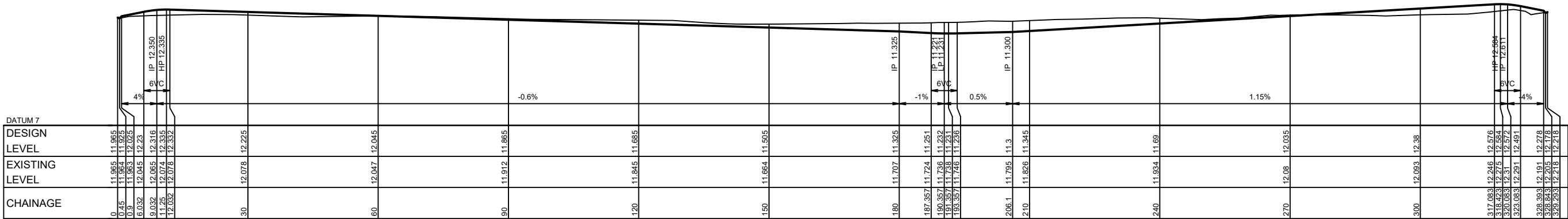
**LandTeam**  
A1 SHEET  
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PROPOSED SUBDIVISION OF LOT 1, DP 1069961  
14 HAMILTON ROAD, ALBION PARK  
DESIGNED: AG  
DRAWN: TJ  
CHECKED: DH  
DRAWING No. 209139-DA01  
SHEET 1 OF 21 SHEET(S)  
OVERALL DEVELOPMENT LAYOUT PLAN  
DATUM AHD CONTOUR INTERVAL 0.2m DATE 07.08.2017

CONCEPT - NOT FOR CONSTRUCTION





TYPICAL SECTION  
NTS



PRIVATE ROAD LONG SECTION  
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1:100 VERT

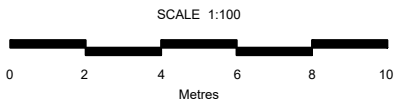
CAUTION



ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO RESEARCH OF PUBLIC UTILITIES HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELEPHONE, POWER, GAS, SEWER OR WATER. ALWAYS CHECK BEFORE YOU START. CUT ANY DESIGN OR CONSTRUCTION WORK YOU NEED TO DO. 1100 BEFORE YOU PROCEED.



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A1  
SHEET

14 HAMILTON RD Pty Ltd

PROPOSED SUBDIVISION OF  
LOT 1, DP 1069961  
14 HAMILTON ROAD, ALBION PARK

PRIVATE ROAD LONG SECTION  
& TYPICAL SECTION

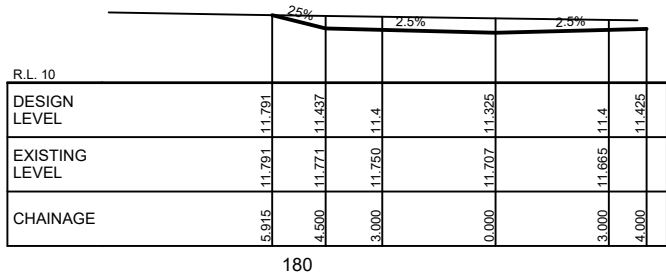
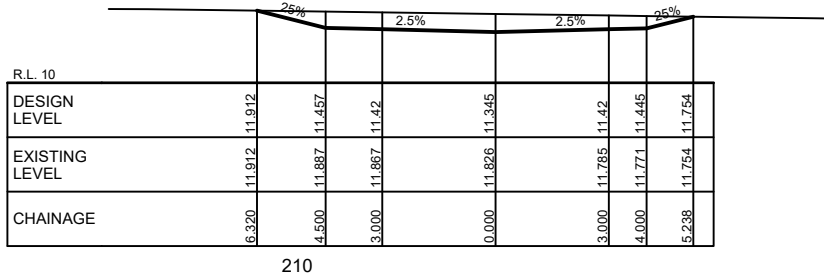
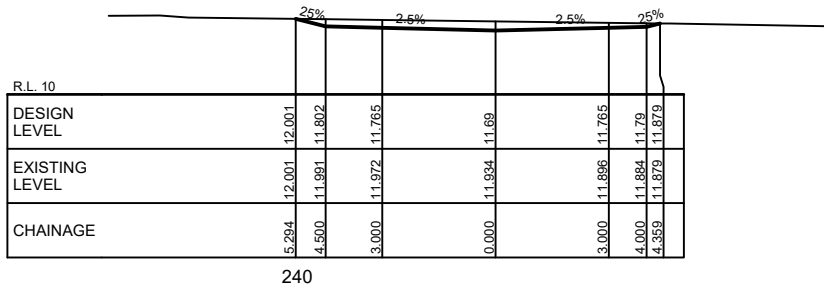
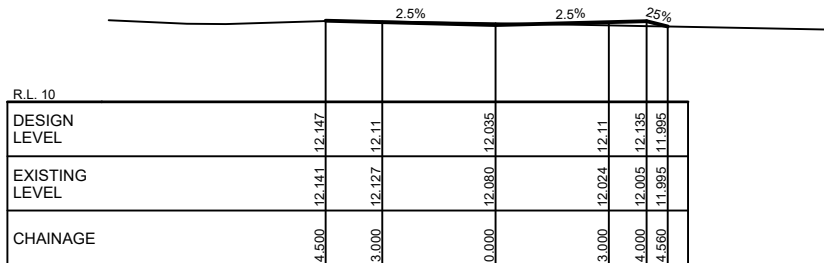
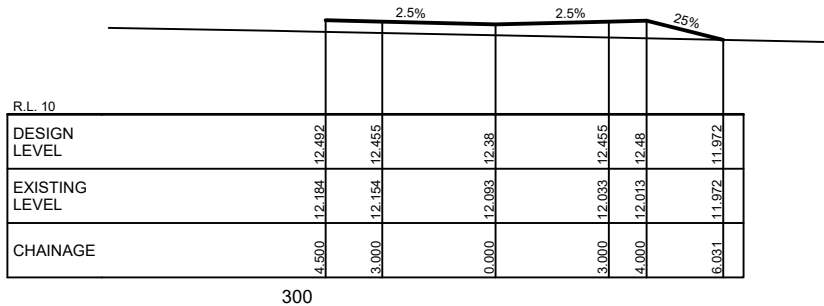
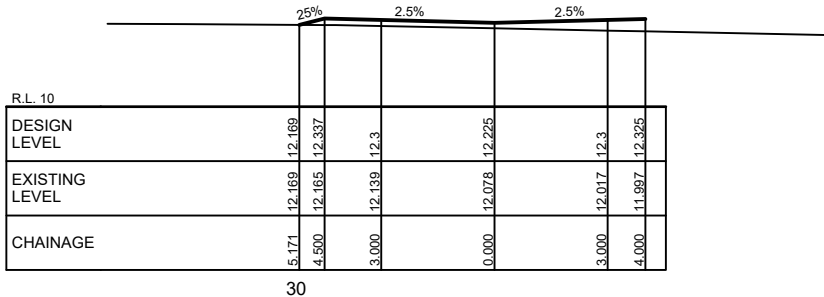
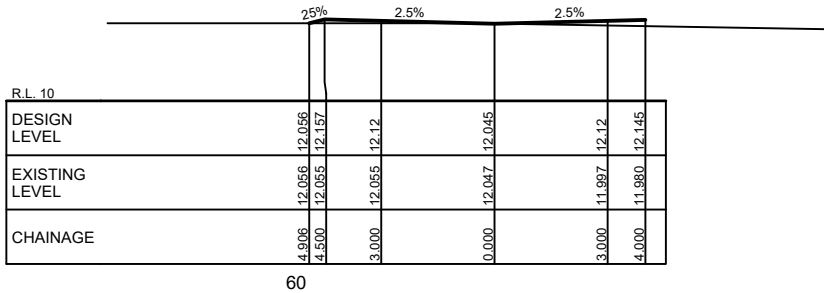
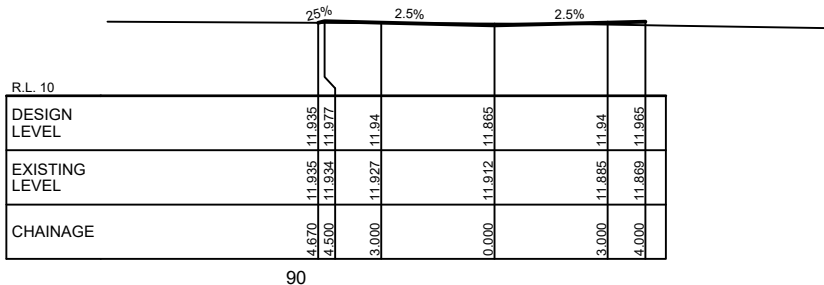
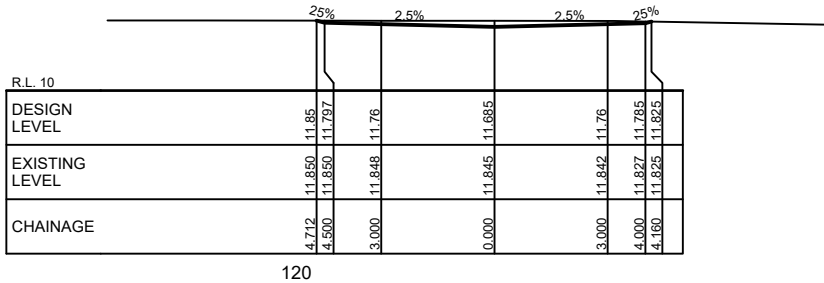
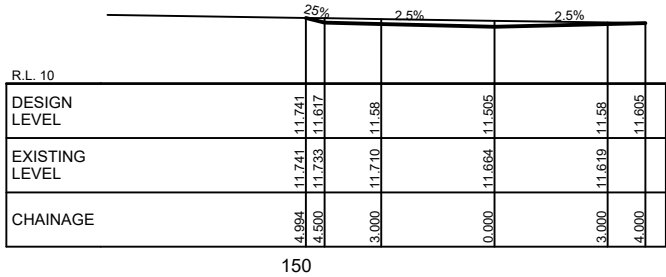
DESIGNED: AG  
DRAWN: TJ  
CHECKED: DH

ISSUE  
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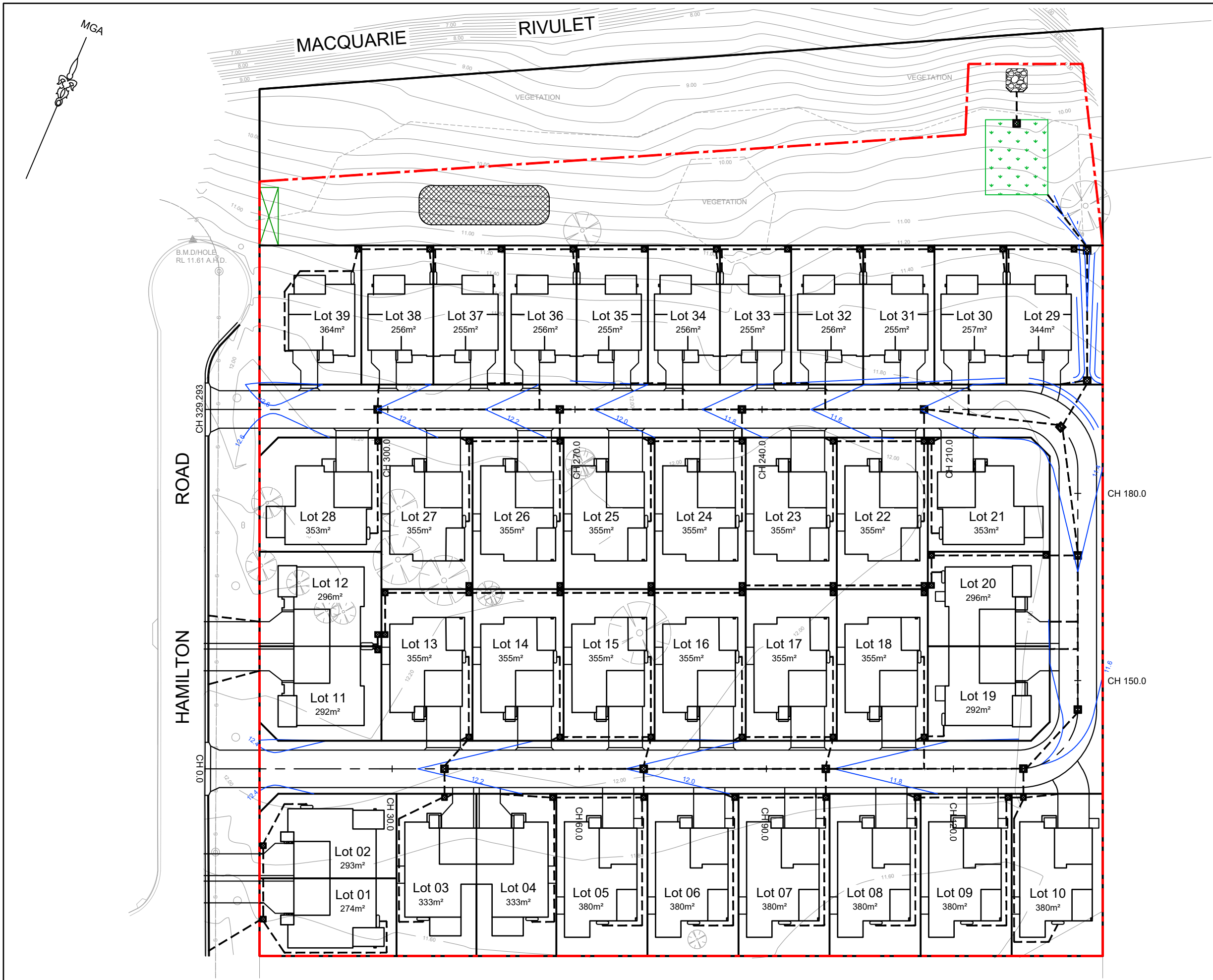
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209139-DA02

DATUM AHD CONTOUR INTERVAL - DATE 07.08.2017 SHEET 2 OF 21 SHEET(S)

FILE NAME: 209139-DA01-DA21-K.dwg



CONCEPT - NOT FOR CONSTRUCTION



**LEGEND**

- PROPOSED BOUNDARY LINES
- ADJOINING BOUNDARY LINES
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SEDIMENT FILTER FENCE
- PROPOSED SOIL STOCKPILE
- PROPOSED TEMPORARY ENTRY/EXIT

- SOIL & WATER MANAGEMENT NOTES:**
- TYPE D OR F SEDIMENT BASIN TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH 'SOILS AND CONSTRUCTION VOLUME 1 (4th EDITION 2004)'. BASIN TO BE OFFLINE FROM EXTERNAL CATCHMENT, DETAILS TO BE PROVIDED WITH DETAILED DESIGN FOR CONSTRUCTION CERTIFICATE.
  - CLEAN UPSTREAM WATER TO BE DIVERTED AROUND BASIN WHERE PRACTICAL. USE DIRTY DRAINS TO MAXIMISE DIRTY WATER CAPTURE.
  - MINIMISE AREA OF DISTURBANCE WITHIN SITE DURING CONSTRUCTION.
  - DISTURBED AREAS TO BE STABILISED AND RE-VEGETATED AS SOON AS POSSIBLE.
  - CONSTRUCTION SITE TO HAVE ONLY ONE ENTRY/EXIT POINT USING SHAKER PAD.
  - FILTER FENCE TO BE PLACED BELOW DISTURBED AREAS WHERE DIVERSION INTO BASIN NOT PRACTICAL.

**CAUTION**

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**DIAL 1100**  
BEFORE YOU DIG

ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO RESEARCH OF PUBLIC UTILITIES HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELEPHONE, POWER, GAS, SEWER OR WATER. AS SUCH BEFORE YOU STARTING, CALL 1100 OR 1100 BEFORE YOU PROCEED.

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**A1**  
SHEET

14 HAMILTON RD Pty Ltd

PROPOSED SUBDIVISION OF  
LOT 1, DP 1069961  
14 HAMILTON ROAD, ALBION PARK

DESIGNED: AG  
DRAWN: TJ  
CHECKED: DH  
DRAWING No.  
**209139-DA04**

**SOIL & WATER MANAGEMENT PLAN**

DATUM: AHD CONTOUR INTERVAL: 0.2m DATE: 07.08.2017

ISSUE: **K**

SHEET 4 OF 21 SHEET(S)



NOT FOR CONSTRUCTION

## LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING SEWER PIPES
	PROPOSED STORMWATER
	DRAINAGE LEADING TO RAINWATER TANKS
	DRAINAGE DOWN PIPE
	PROPOSED SURFACE LEVELS
	PROPOSED DRIVEWAY & LOT GRADING
	DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
	PROPOSED RETAINING WALL

## RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

## NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

## NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

## CAUTION



ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO SEARCH OF PUBLIC UTILITIES HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELSTRA, POWER, GAS, SEWER OR WATER. AS SUCH BEFORE CARRYING OUT ANY DESIGN OR CONSTRUCTION WORK YOU NEED TO DIAL 1100 BEFORE YOU PROCEED



ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

SCALE 1:200



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e: wollongong@landteam.com.au



Integrated Management System



A3  
SHEET

14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 1 - 2

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 30.04.2020

DESIGNED: AK

ISSUE

DRAWN: AK

CHECKED: DH

DRAWING No.

209139-DA05

SHEET 5 OF 21 SHEET(S)

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## LEGEND

- 12.00 EXISTING CONTOURS
- 12.0 PROPOSED CONTOURS
- PROPOSED STORMWATER
- DRAINAGE LEADING TO RAINWATER TANKS
- DP DRAINAGE DOWN PIPE
- 11.69 PROPOSED SURFACE LEVELS
- 2.5% PROPOSED DRIVEWAY & LOT GRADING
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
- PROPOSED RETAINING WALL

## RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

## NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

## NOTE:

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(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

## CAUTION

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PROPOSED RETAINING WALL

PROPOSED RETAINING WALL

PROPOSED 100 HIGH EDGE STRIP

PROPOSED 100 HIGH EDGE STRIP

PROPOSED 100 HIGH EDGE STRIP

ISSUE	AMENDMENT	DATE	<div>SCALE 1:200</div> <div><div><div></div><div></div><div></div><div></div></div><div>036912</div><div>Metres</div><div>Liability limited by a scheme approved under Professional Standards Legislation.</div></div> <td rowspan="6"><div>LandTeam Australia Pty Ltd</div><div>ABN 35 300 283 592</div><div>Wollongong Office</div><div>5/97 Shellharbour Road</div><div>Postal: PO Box 353</div><div>WARILLA NSW 2528</div><div>p: (02) 4296 7055</div><div>f: (02) 4297 1163</div><div>e: wollongong@landteam.com.au</div><div><div><div></div><div>BCert</div></div><div>Integrated Management System</div></div></td> <td rowspan="6"><div><div><div></div></div></div><div>LandTeam</div></td> <td>A3 SHEET</td> <td colspan="2">14 HAMILTON RD Pty Ltd</td> <td>DATE: 30.04.2020</td> <td rowspan="4">ISSUE <div>K</div></td>	<div>LandTeam Australia Pty Ltd</div> <div>ABN 35 300 283 592</div> <div>Wollongong Office</div> <div>5/97 Shellharbour Road</div> <div>Postal: PO Box 353</div> <div>WARILLA NSW 2528</div> <div>p: (02) 4296 7055</div> <div>f: (02) 4297 1163</div> <div>e: wollongong@landteam.com.au</div> <div><div><div></div><div>BCert</div></div><div>Integrated Management System</div></div>	<div><div><div></div></div></div> <div>LandTeam</div>	A3 SHEET	14 HAMILTON RD Pty Ltd		DATE: 30.04.2020	ISSUE <div>K</div>
G	RE-ISSUE	07.10.2020				<div>CONCEPT DRAINAGE DESIGN</div> <div>LOTS 3 - 5</div>		DESIGNED: AK		
H	ARCH. & BASIN UPDATED	26.10.2020						DRAWN: AK		
I	DRAINAGE LAYOUT ALTERED	05.11.2020						CHECKED: DH		
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020				<div>DATUM</div> <div>AHD</div> <div>CONTOUR INTERVAL</div> <div>0.2m</div>		DRAWING No.		
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020						209139-DA06		
SHEET 6 OF 21 SHEET(S)										

NOT FOR CONSTRUCTION

### LEGEND

- 12.00 — EXISTING CONTOURS
- 12.0 — PROPOSED CONTOURS
- - - - - PROPOSED STORMWATER
- - - - - DRAINAGE LEADING TO RAINWATER TANKS
- DP DRAINAGE DOWN PIPE
- 11.69 PROPOSED SURFACE LEVELS
- 2.5% PROPOSED DRIVEWAY & LOT GRADING
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
- ▨ PROPOSED RETAINING WALL

### RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

### NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELDED JOINTED PVC PIPES.

### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

PROPOSED 100 HIGH EDGE STRIP

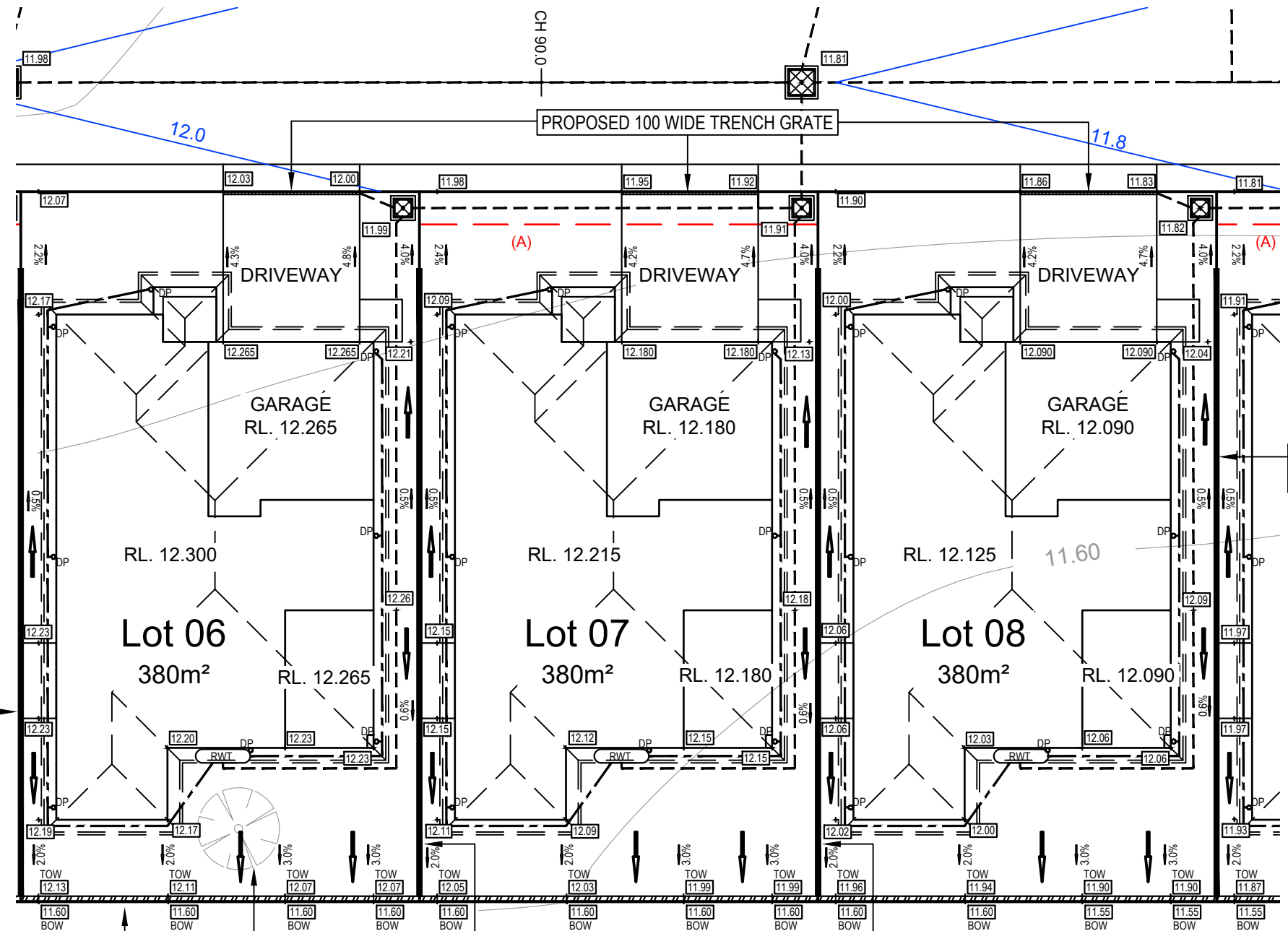
### CAUTION



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PROPOSED RETAINING WALL

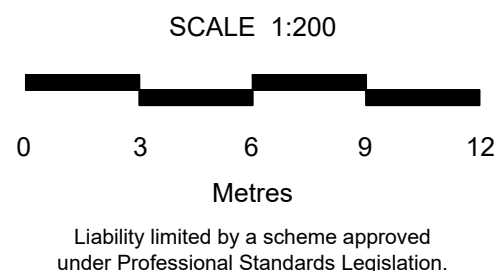
EXISTING TREE TO BE REMOVED



PROPOSED 100 HIGH EDGE STRIP



ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
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K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020



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A3 SHEET	14 HAMILTON RD Pty Ltd
CONCEPT DRAINAGE DESIGN LOTS 6 - 8	
DATUM	AHD
CONTOUR INTERVAL	0.2m

DATE:	30.04.2020
DESIGNED:	AK
DRAWN:	AK
CHECKED:	DH
DRAWING No.	209139-DA07
SHEET 7 OF 21 SHEET(S)	



NOT FOR CONSTRUCTION

MGA

### LEGEND

- 12.00 — EXISTING CONTOURS
- 12.0 — PROPOSED CONTOURS
- - - PROPOSED STORMWATER
- - - DRAINAGE LEADING TO RAINWATER TANKS
- DP DRAINAGE DOWN PIPE
- 11.69 PROPOSED SURFACE LEVELS
- 2.5% PROPOSED DRIVEWAY & LOT GRADING
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
- ▨ PROPOSED RETAINING WALL

### RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

### NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

### CAUTION



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G	RE-ISSUE	07.10.2020
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I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

SCALE 1:200



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14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 9 - 10

DATUM AHD CONTOUR INTERVAL 0.2m

FILE NAME : 209139-DA01-DA21-K.dwg

DATE: 30.04.2020

DESIGNED: AK

DRAWN: AK

CHECKED: DH

DRAWING No.

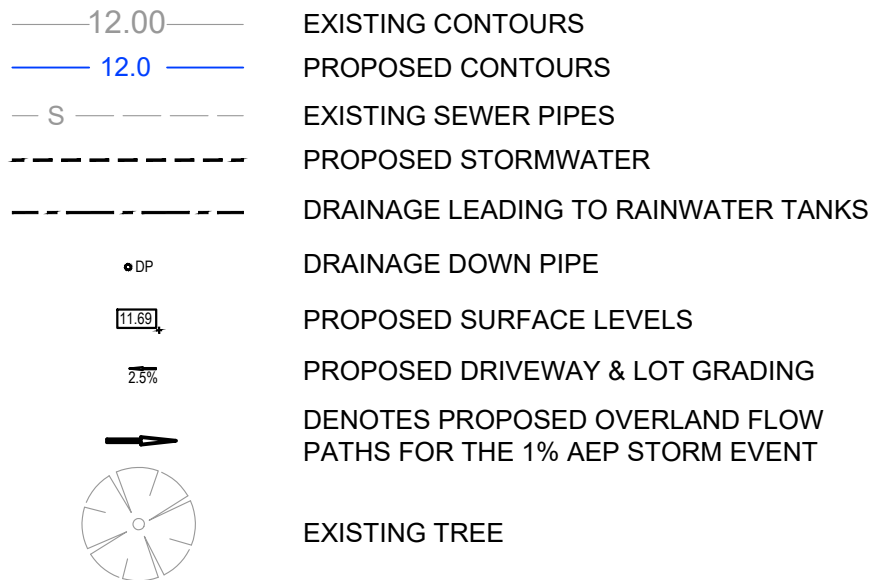
209139-DA08

SHEET 8 OF 21 SHEET(S)

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### LEGEND



### RAINWATER TANKS:

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### NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

### NOTE:

ALL EXISTING TREES SHOWN TO BE REMOVED

### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE



ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

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A3 SHEET

14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 11 - 12

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 30.04.2020

DESIGNED: AK

DRAWN: AK

CHECKED: DH

DRAWING No.

209139-DA09

SHEET 9 OF 21 SHEET(S)

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## LEGEND

- 12.00 EXISTING CONTOURS
- 12.0 PROPOSED CONTOURS
- PROPOSED STORMWATER DRAINAGE LEADING TO RAINWATER TANKS
- DP DRAINAGE DOWN PIPE
- 11.69 PROPOSED SURFACE LEVELS
- 2.5% PROPOSED DRIVEWAY & LOT GRADING
- Denotes PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
- EXISTING TREE

## RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

## NOTE:

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## NOTE:

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## NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE



ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
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I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

SCALE 1:200



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SHEET

14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 13 - 15

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 30.04.2020

DESIGNED: AK

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CHECKED: DH

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SHEET 10 OF 21 SHEET(S)

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## LEGEND

- 12.00 EXISTING CONTOURS
- 12.0 PROPOSED CONTOURS
- PROPOSED STORMWATER DRAINAGE LEADING TO RAINWATER TANKS
- DP DRAINAGE DOWN PIPE
- 11.69 PROPOSED SURFACE LEVELS
- 2.5% PROPOSED DRIVEWAY & LOT GRADING
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

## RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

## NOTE:

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## NOTE:

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(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

## CAUTION



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ISSUE	AMENDMENT	DATE
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H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

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A3 SHEET 14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 16 - 18

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 30.04.2020	K
DESIGNED: AK	
DRAWN: AK	
CHECKED: DH	
DRAWING No.	209139-DA11
SHEET 11 OF 21 SHEET(S)	

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## LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED STORMWATER
	DRAINAGE LEADING TO RAINWATER TANKS
	DRAINAGE DOWN PIPE
	PROPOSED SURFACE LEVELS
	PROPOSED DRIVEWAY & LOT GRADING
	DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
	PROPOSED RETAINING WALL

## RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

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## NOTE:

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(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

## CAUTION

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ISO 14001  
ISO 45001

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ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

SCALE 1:200



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A3  
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14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 19 - 20

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 30.04.2020

DESIGNED: AK

DRAWN: AK

CHECKED: DH

DRAWING No.

209139-DA12

SHEET 12 OF 21 SHEET(S)

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LEGEND

- 12.00 — EXISTING CONTOURS  
— 12.0 — PROPOSED CONTOURS  
- - - - - PROPOSED STORMWATER  
- - - - - DRAINAGE LEADING TO RAINWATER TANKS  
• DP DRAINAGE DOWN PIPE  
11.69 PROPOSED SURFACE LEVELS  
2.5% PROPOSED DRIVEWAY & LOT GRADING  
DENOTES PROPOSED OVERLAND FLOW  
PATHS FOR THE 1% AEP STORM EVENT

RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO  
FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO  
BE CARRIED OUT BY A LICENSED PLUMBER.

NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM  
OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED  
PVC PIPES.

NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM  
OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES  
A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN  
BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

CAUTION

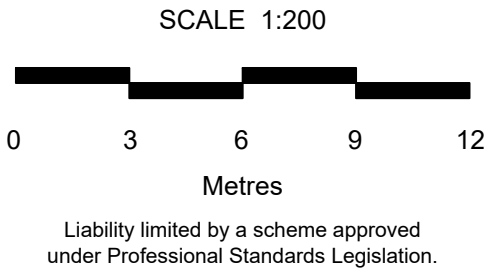
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ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020



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A3 SHEET	14 HAMILTON RD Pty Ltd	DATE: 30.04.2020
CONCEPT DRAINAGE DESIGN LOT 21		DESIGNED: AK
		DRAWN: AK
		CHECKED: DH
DATING		DRAWING No.
AHD		209139-DA13
CONTOUR INTERVAL 0.2m		SHEET 13 OF 21 SHEET(S)

NOT FOR CONSTRUCTION

### LEGEND

- 12.00 — EXISTING CONTOURS
- 12.0 — PROPOSED CONTOURS
- - - - - PROPOSED STORMWATER
- - - - - DRAINAGE LEADING TO RAINWATER TANKS
- DP DRAINAGE DOWN PIPE
- 11.69 PROPOSED SURFACE LEVELS
- 2.5% PROPOSED DRIVEWAY & LOT GRADING
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

### RAINWATER TANKS:

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### NOTE:

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### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

### CAUTION



ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO SEARCH OF PUBLIC UTILITIES HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELSTRA, POWER, GAS, SEWER OR WATER. AS SUCH BEFORE CARRYING OUT ANY DESIGN OR CONSTRUCTION WORK YOU NEED TO DIAL 1100 BEFORE YOU PROCEED



ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

SCALE 1:200



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A3 SHEET

14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 22 - 24

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 30.04.2020

DESIGNED: AK

DRAWN: AK

CHECKED: DH

DRAWING No.

209139-DA14

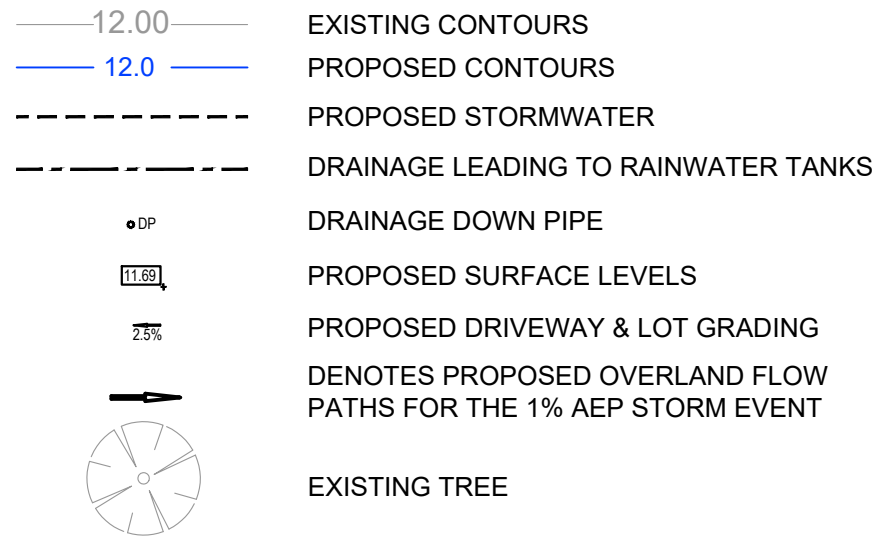
SHEET 14 OF 21 SHEET(S)

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## LEGEND



### RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

### NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELDED JOINTED PVC PIPES.

### NOTE:

ALL EXISTING TREES SHOWN TO BE REMOVED

### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

### CAUTION



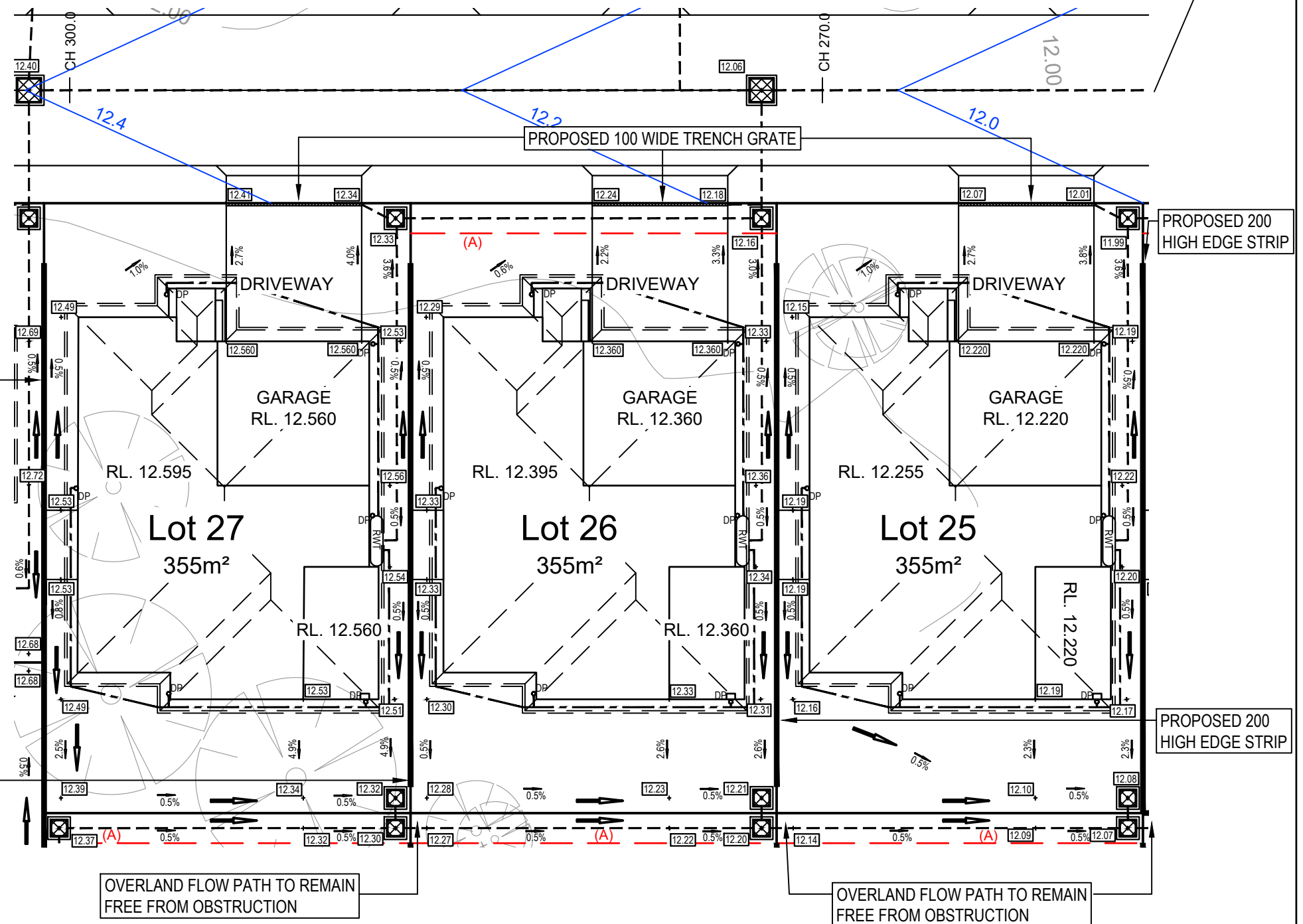
ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO SEARCH OF PUBLIC UTILITIES HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELSTRA, POWER, GAS, SEWER OR WATER. AS SUCH BEFORE CARRYING OUT ANY DESIGN OR CONSTRUCTION WORK YOU NEED TO DIAL 1100 BEFORE YOU PROCEED.

PROPOSED 200 HIGH EDGE STRIP

PROPOSED 200 HIGH EDGE STRIP

OVERLAND FLOW PATH TO REMAIN FREE FROM OBSTRUCTION

OVERLAND FLOW PATH TO REMAIN FREE FROM OBSTRUCTION



ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

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A3 SHEET

14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 25 - 27

DATUM AHD CONTOUR INTERVAL 0.2m

FILE NAME : 209139-DA01-DA21-K.dwg

DATE: 30.04.2020

DESIGNED: AK

DRAWN: AK

CHECKED: DH

DRAWING No.

209139-DA15

SHEET 15 OF 21 SHEET(S)

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LEGEND

- 12.00 — EXISTING CONTOURS  
— 12.0 — PROPOSED CONTOURS  
— S — EXISTING SEWER PIPES  
- - - - - PROPOSED STORMWATER  
- - - - - DRAINAGE LEADING TO RAINWATER TANKS  
• DP DRAINAGE DOWN PIPE  
11.69 PROPOSED SURFACE LEVELS  
2.5% PROPOSED DRIVEWAY & LOT GRADING  
DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

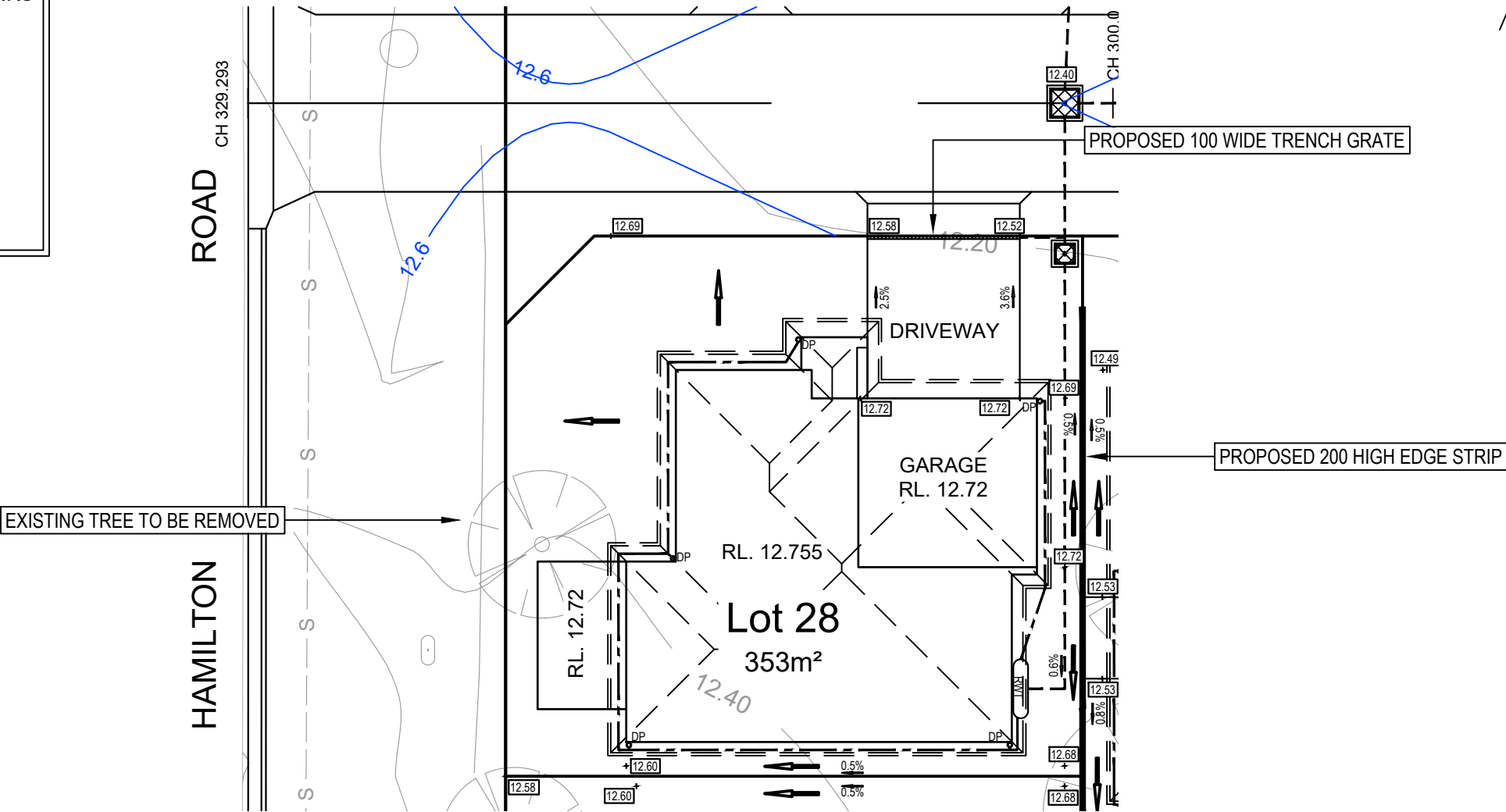
NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

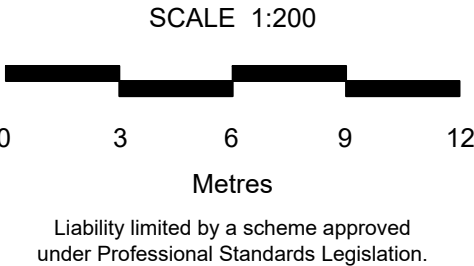
CAUTION



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ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020



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A3 SHEET	14 HAMILTON RD Pty Ltd	DATE: 30.04.2020
CONCEPT DRAINAGE DESIGN LOT 28		DESIGNED: AK
		DRAWN: AK
		CHECKED: DH
DATING		DRAWING No.
AHD		209139-DA16
CONTOUR INTERVAL	0.2m	SHEET 16 OF 21 SHEET(S)

NOT FOR CONSTRUCTION

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LEGEND

- 12.00— EXISTING CONTOURS  
— 12.0 — PROPOSED CONTOURS  
- - - - - PROPOSED STORMWATER  
- - - - - DRAINAGE LEADING TO RAINWATER TANKS  
• DP DRAINAGE DOWN PIPE  
11.69 PROPOSED SURFACE LEVELS  
2.5% PROPOSED DRIVEWAY & LOT GRADING  
→ DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

(B) EASEMENT FOR DRAINAGE OF WATER 3.0 WIDE

PROPOSED 100 HIGH EDGE STRIP

PROPOSED 100 WIDE TRENCH GRATE

PROPOSED RETAINING WALL

3m WIDE DRAINAGE EASEMENT

1m LANDSCAPE STRIP

PROPOSED RETAINING WALL

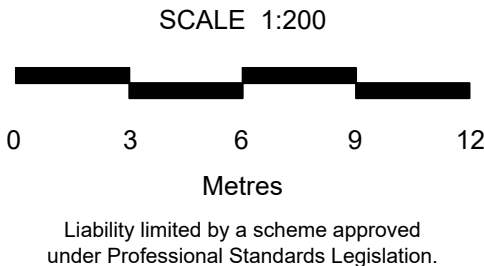
CAUTION



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ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020



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A3 SHEET	14 HAMILTON RD Pty Ltd	DATE: 02.10.2020
CONCEPT DRAINAGE DESIGN LOTS 29 - 30		DESIGNED: AK
		DRAWN: AK
		CHECKED: DH
		DRAWING No.
		209139-DA17
DATUM	AHD	CONTOUR INTERVAL 0.2m
SHEET 17 OF 21 SHEET(S)		

NOT FOR CONSTRUCTION

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### LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED STORMWATER
	DRAINAGE LEADING TO RAINWATER TANKS
	DRAINAGE DOWN PIPE
	PROPOSED SURFACE LEVELS
	PROPOSED DRIVEWAY & LOT GRADING
	DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

### RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

### NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

### CAUTION



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PROPOSED 200 HIGH EDGE STRIP

PROPOSED 200 HIGH EDGE STRIP

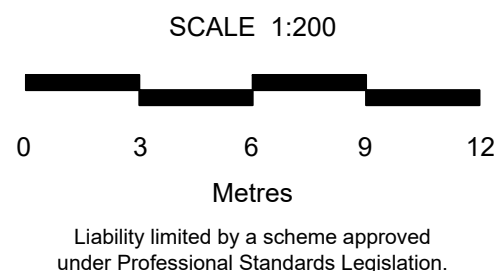
PROPOSED 100 HIGH EDGE STRIP

PROPOSED 100 WIDE TRENCH GRATE

PROPOSED 100 WIDE TRENCH GRATE

PROPOSED 100 WIDE TRENCH GRATE

ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020



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A3 SHEET	14 HAMILTON RD Pty Ltd
CONCEPT DRAINAGE DESIGN LOTS 31 - 34	
DATUM	AHD
CONTOUR INTERVAL	0.2m

FILE NAME : 209139-DA01-DA21-K.dwg

DATE: 02.10.2020	ISSUE <b>K</b>
DESIGNED: AK	
DRAWN: AK	
CHECKED: DH	
DRAWING No. <b>209139-DA18</b>	SHEET 18 OF 21 SHEET(S)



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## LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED STORMWATER
	DRAINAGE LEADING TO RAINWATER TANKS
	DRAINAGE DOWN PIPE
	PROPOSED SURFACE LEVELS
	PROPOSED DRIVEWAY & LOT GRADING
	DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

## RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

## NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

## NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

## CAUTION

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ISSUE	AMENDMENT	DATE
G	RE-ISSUE	07.10.2020
H	ARCH. & BASIN UPDATED	26.10.2020
I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020

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A3  
SHEET

14 HAMILTON RD Pty Ltd

CONCEPT DRAINAGE DESIGN  
LOTS 35 - 38

DATUM AHD CONTOUR INTERVAL 0.2m

DATE: 02.10.2020

DESIGNED: AK

DRAWN: AK

CHECKED: DH

DRAWING No.

209139-DA19

SHEET 19 OF 21 SHEET(S)

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LEGEND

- 12.00— EXISTING CONTOURS  
— 12.0 — PROPOSED CONTOURS  
- - - - - PROPOSED STORMWATER  
- - - - - DRAINAGE LEADING TO RAINWATER TANKS  
• DP DRAINAGE DOWN PIPE  
11.69 PROPOSED SURFACE LEVELS  
2.5% PROPOSED DRIVEWAY & LOT GRADING  
DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT

RAINWATER TANKS:

PUMPS TO BE INSTALLED AND TANKS CONNECTED TO FIXTURES IDENTIFIED BY THE BASIX CERTIFICATE. WORK TO BE CARRIED OUT BY A LICENSED PLUMBER.

NOTE:

STORMWATER DRAINAGE PIPES & DOWNPIPES UPSTREAM OF WATER STORAGE TANKS TO BE SOLVENT WELD JOINTED PVC PIPES.

NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

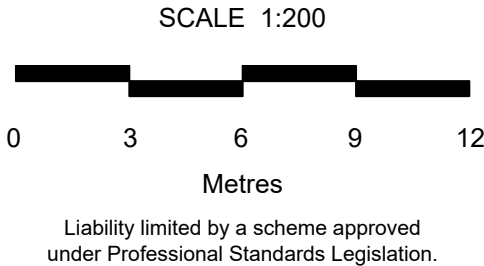
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ISSUE	AMENDMENT	DATE
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I	DRAINAGE LAYOUT ALTERED	05.11.2020
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020



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e: wollongong@landteam.com.au



A3 SHEET	14 HAMILTON RD Pty Ltd	DATE: 02.10.2020
CONCEPT DRAINAGE DESIGN LOTS 39		DESIGNED: AK
		DRAWN: AK
		CHECKED: DH
		DRAWING No.
		209139-DA20
DATUM	AHD	CONTOUR INTERVAL 0.2m
SHEET 20 OF 21 SHEET(S)		

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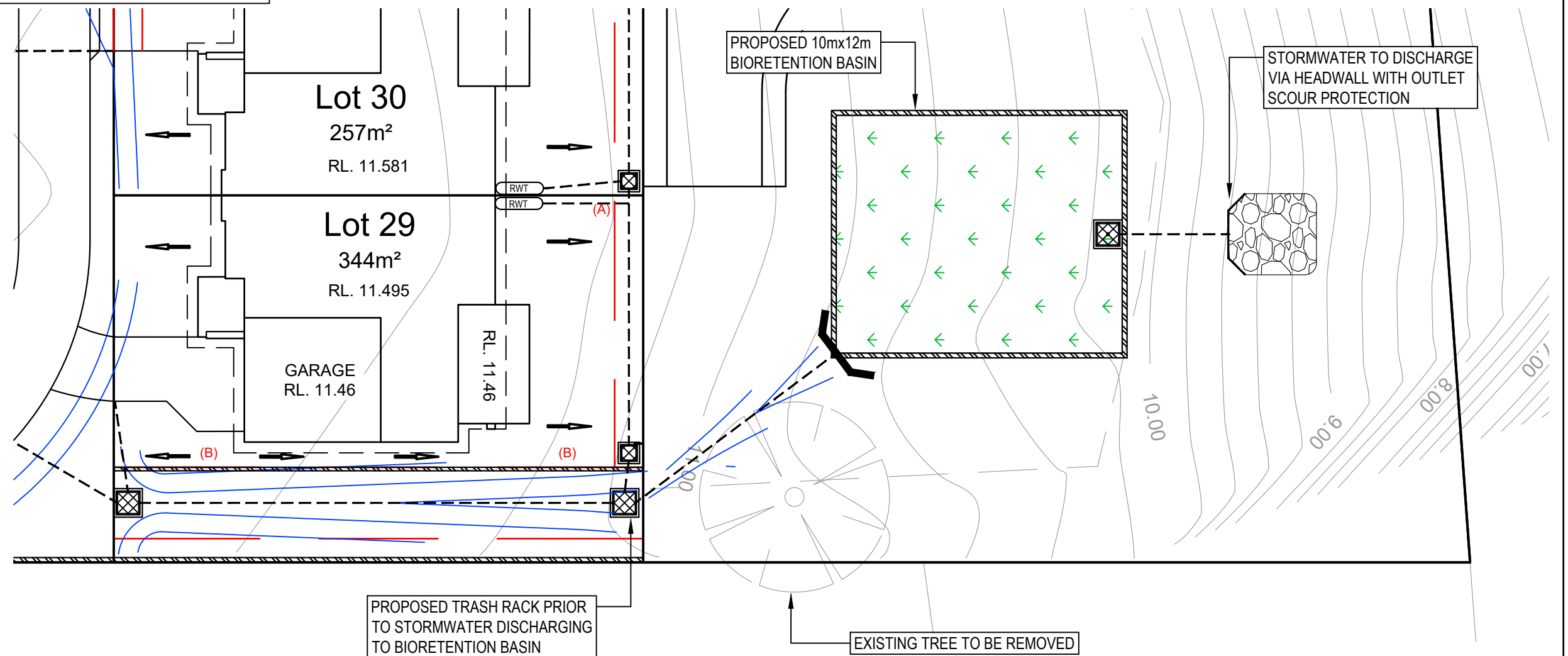
- 12.00 EXISTING CONTOURS
- 12.0 PROPOSED CONTOURS
- PROPOSED STORMWATER
- 11.69 PROPOSED SURFACE LEVELS
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
- PROPOSED RETAINING WALL
- PROPOSED BIO RETENTION BASIN
- EXISTING TREE

### NOTE:

OVERLAND FLOW PATHS TO REMAIN FREE FROM OBSTRUCTION. WHERE OVERLAND FLOW PATH PASSES A FENCE LINE, ENSURE 100mm CLEARANCE BETWEEN BOTTOM OF FENCE AND FINISHED GROUND LEVEL.

(A) EASEMENT FOR DRAINAGE OF WATER 1.2 WIDE

(B) EASEMENT FOR DRAINAGE OF WATER 3.0 WIDE



FILE NAME : 209139-DA01-DA21-K.dwg

ISSUE	AMENDMENT	DATE	<div>SCALE 1:200</div> <div><div><div></div><div></div><div></div><div></div></div><div>036912</div><div>Metres</div><div>Liability limited by a scheme approved under Professional Standards Legislation.</div></div>	<div>LandTeam Australia Pty Ltd</div> <div>ABN 35 300 283 592</div> <div>Wollongong Office</div> <div>5/97 Shellharbour Road</div> <div>Postal: PO Box 353</div> <div>WARILLA NSW 2528</div> <div>p: (02) 4296 7055</div> <div>f: (02) 4297 1163</div> <div>e: wollongong@landteam.com.au</div> <div><div><div></div><div>BCert</div></div><div>Integrated Management System</div></div>	<div><div></div></div> <div>LandTeam</div>	A3 SHEET	14 HAMILTON RD Pty Ltd			DATE: 30.04.2020		ISSUE <div>K</div>
G	HEADWALL LOCATION UPDATED	07.10.2020				<div>CONCEPT DRAINAGE DESIGN</div> <div>STORMWATER DISPOSAL PLAN</div>			DESIGNED: AK	DRAWING No. <div>209139-DA21</div>		
H	ARCH. & BASIN UPDATED	26.10.2020							DRAWN: AK			
I	DRAINAGE LAYOUT ALTERED	05.11.2020							CHECKED: DH		SHEET 21 OF 21 SHEET(S)	
J	LOTS 19 & 20 DRAINAGE ALTERED	11.11.2020				<div>DATUM</div> <div>AHD</div> <div>CONTOUR INTERVAL</div> <div>0.2m</div>						
K	REV'D TO SUIT LANDSCAPE PLAN	24.11.2020										

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